

apon **NIBAS**

DIABARI, UTTARA
DHAKA



Jointly Constructed by _____





MESSAGE FROM MANAGING DIRECTOR

Monorom Holdings Ltd is a Dhaka-based real estate company in Bangladesh, committed to developing modern, reliable and thoughtfully designed residential projects. With a focus on quality construction, efficient space planning and customer satisfaction, the company aims to create comfortable living environments that meet the evolving needs of urban lifestyles. Monorom Holdings Ltd emphasizes timely delivery, transparency, and long-term value, positioning itself as a trusted name in the growing real estate sector.

Apon Nibas

Apon Nibas is a well-planned residential development located in the prime area of Diabari, Uttara, Dhaka, just behind BRTA and near Diabari Model School and Kalamia Bazar. Built on 9.83 katha land, this north-east corner project offers a G+8 (9-storied) residential building

designed for modern family living. Each floor features three spacious units (A, B, and C), ranging from approximately 1660 to 1670 square feet, with well-organized layouts including 3 bedrooms, 3 toilets, drawing and dining spaces, and 3 verandas. With a total of 24 apartments, along with essential facilities such as a passenger lift, parking spaces, and dedicated guard and driver rooms, the project ensures both comfort and convenience. Apon Nibas stands as a balanced blend of functionality, location advantage, and contemporary urban living.

Thanking you once again.

Very sincerely yours.

Mohammad Ullah Jamshed
Managing Director

PROJECT AT A GLANCE

Project Name

Apon Nibas

Address

Diabari, Tarartek, Uttara, Dhaka
Behind BRTA, Diabari Model
School, Diabari Kalamia Bazar

Land Area

9.83 Katha

Building Height

G + 8, 9 Storied Building

Building Type

Residential

Unit Per Floor

03 Unit (A, B & C) Per Floor

Facing

South Facing

Apartment Size

A = 1670 sft, B = 1660 sft &
C = 1660 sft Approx.

Building Facilities

3 Bed, 3 toilet, 3 Ver., Drawing,
Dining, Kitchen

No. of Apartment

24 Nos.

Passenger Lift

01 Nos

Number of Parking

16 Nos

Prayer Room

01

Flat Owen's Community Hall Room- 01

Guard & Driver Room

02 Nos

Walkway

Available

AN *Exclusive* APARTMENT



LOCATION MAP











BUILT-IN FACILITIES ARE



PERSPECTIVE
VIEW



GROUND FLOOR FACILITIES

 GUARD POST	 EME ROOM	 KITCHEN	 TOILET
 GARDEN	 OFFICE	 CHARGING DOCK	 GUARD DOCK

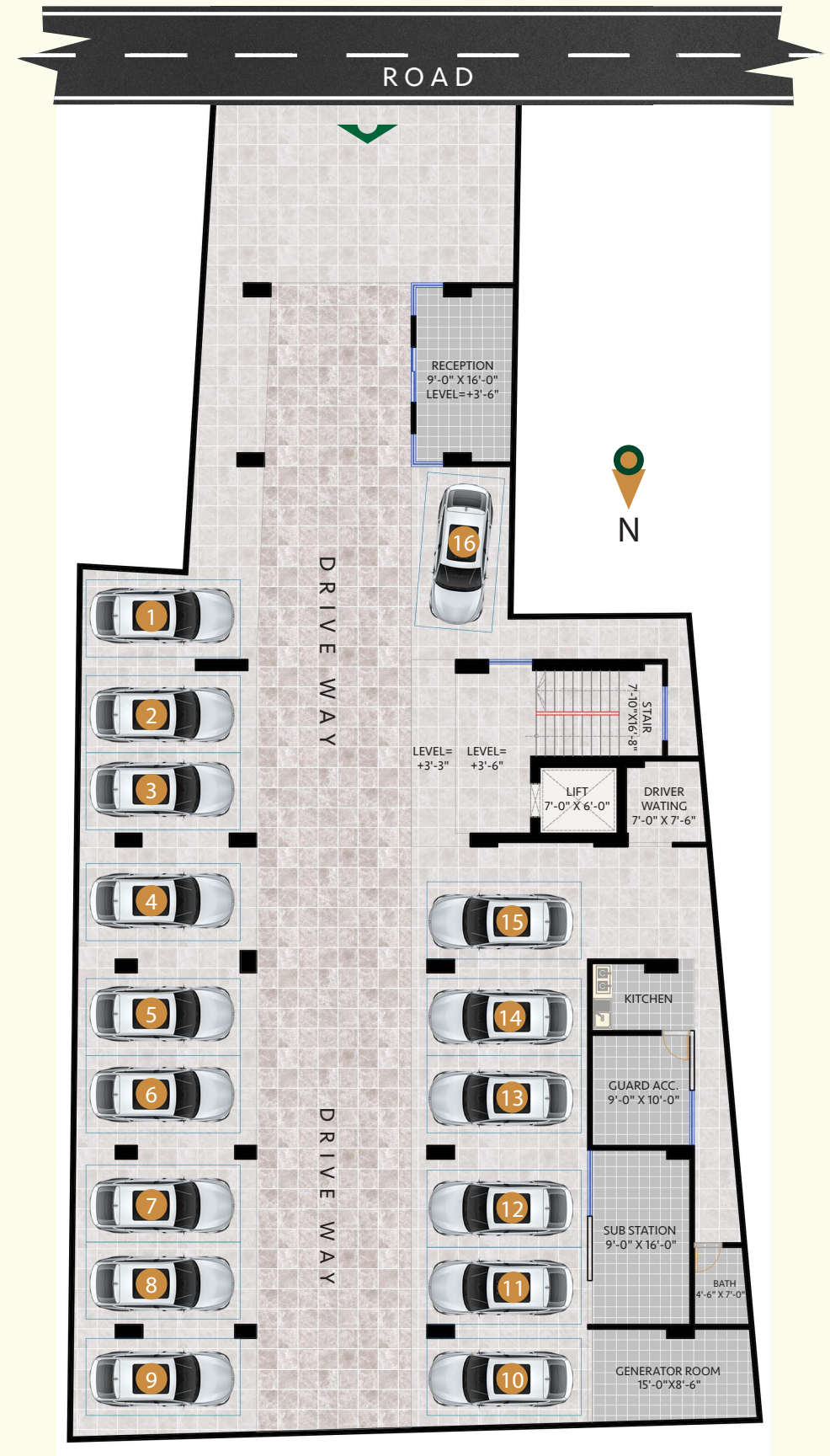
16

CAR PARKING



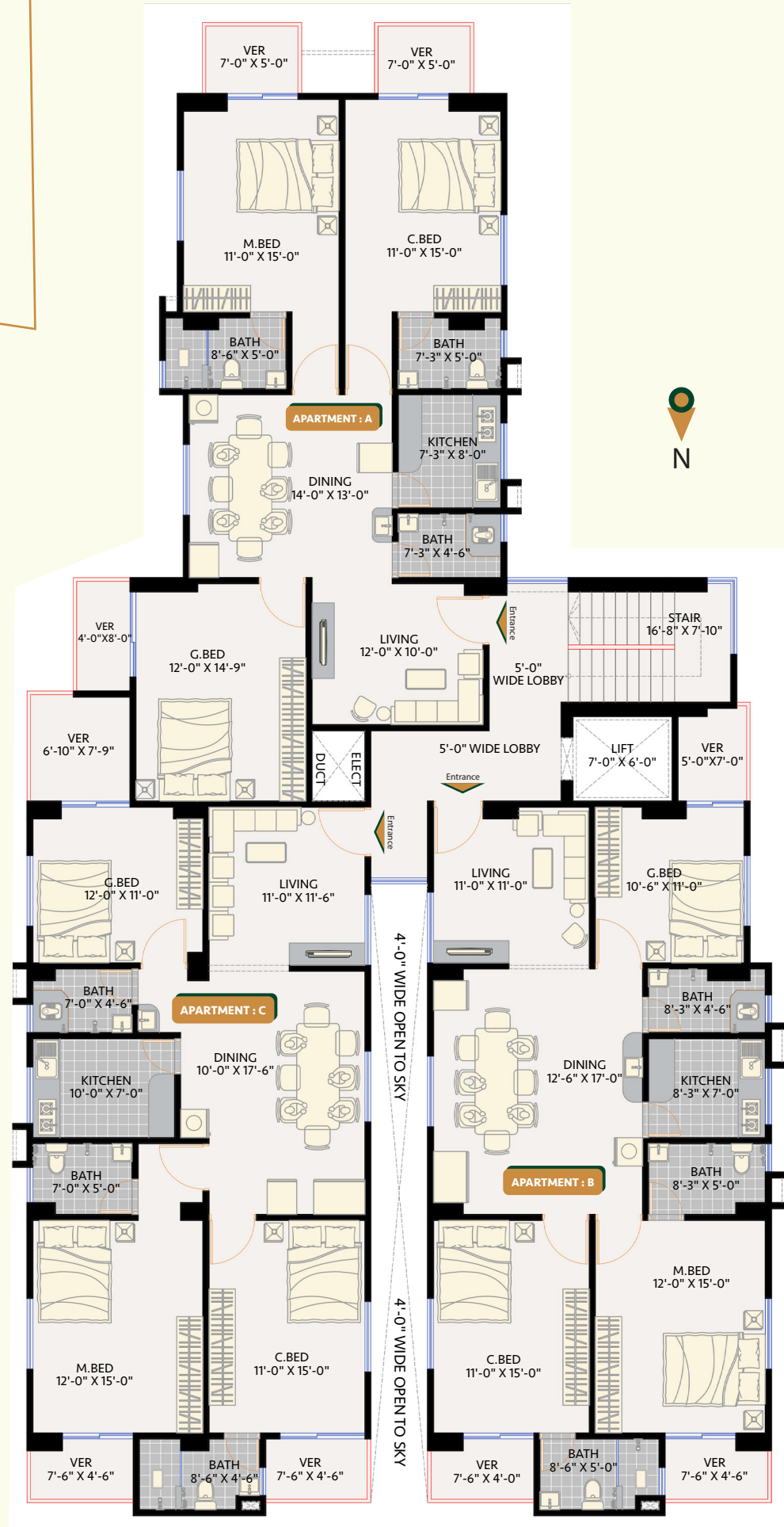
GROUND FLOOR PLAN

PARKING



TYPICAL FLOOR PLAN

1ST TO 8TH FLOOR

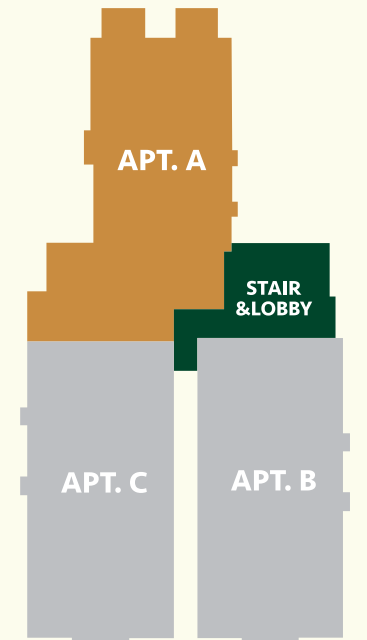


TYPE A FLOOR PLAN

SIZE : 1670 SFT



KEY PLAN

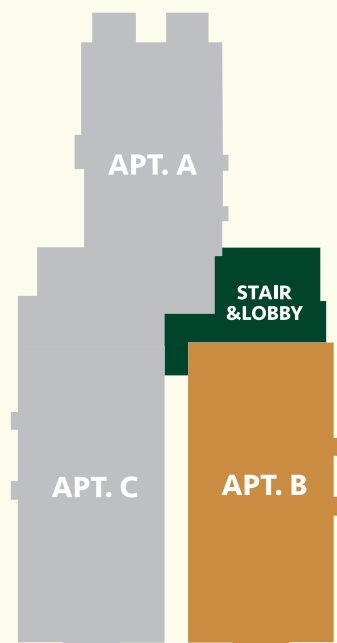


THE APARTMENT CONTAINS:

Bed	: 03
Living	: 01
Dining	: 01
Kitchen	: 01
Bath	: 03
Veranda	: 03

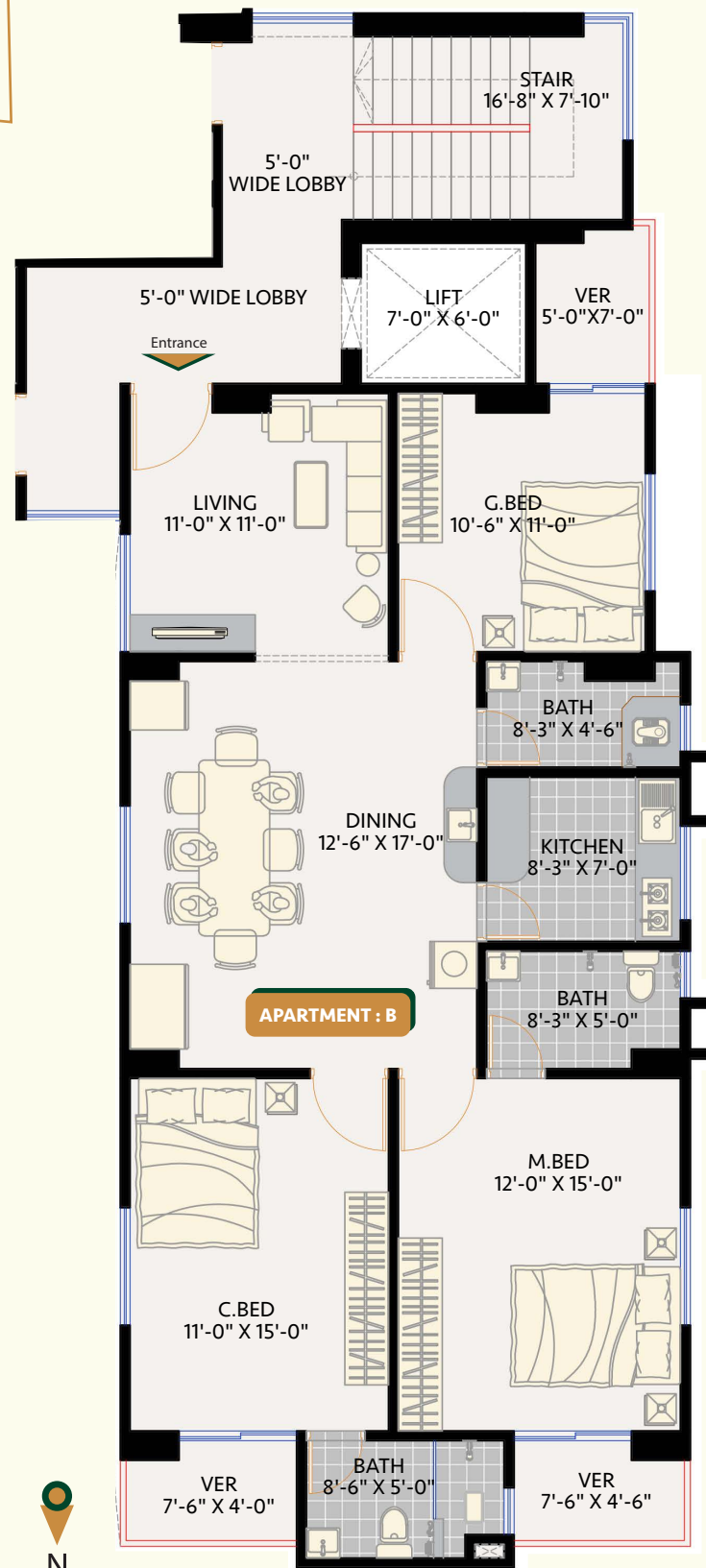
TYPE B
FLOOR PLAN
SIZE : 1660 SFT

KEY PLAN



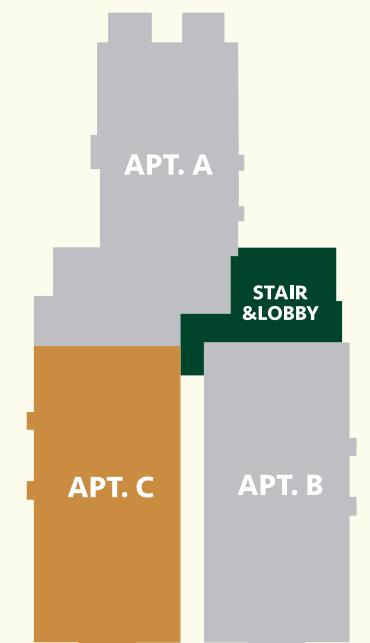
THE APARTMENT CONTAINS:

Bed	: 03
Living	: 01
Dining	: 01
Kitchen	: 01
Bath	: 03
Veranda	: 03



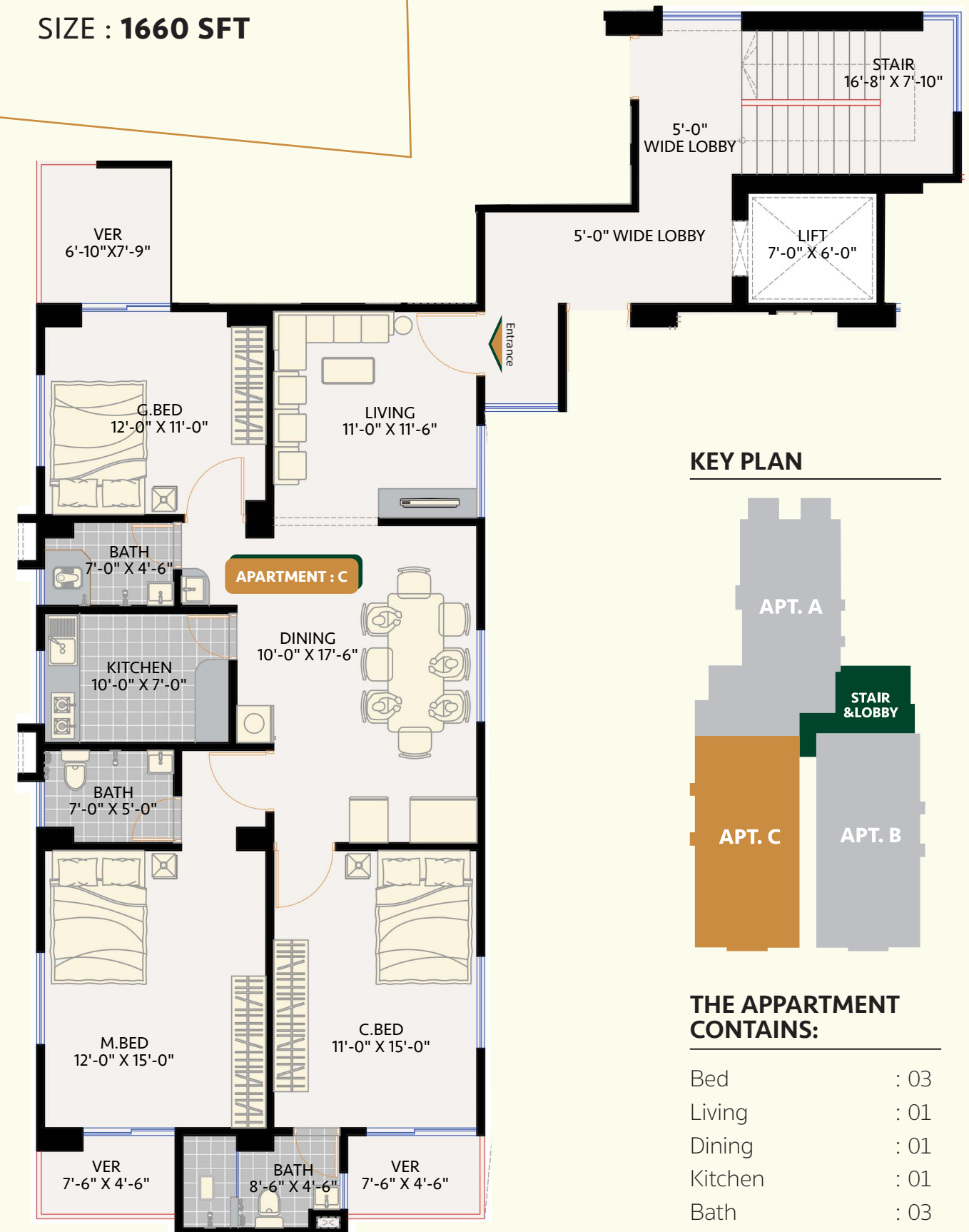
TYPE C
FLOOR PLAN
SIZE : 1660 SFT

KEY PLAN



THE APARTMENT CONTAINS:

Bed	: 03
Living	: 01
Dining	: 01
Kitchen	: 01
Bath	: 03
Veranda	: 03





at NIBAS

EXCELLENCE
IN EVERY ASPECT



MAJOR STRUCTURAL MATERIALS & FEATURES

Cement

Crown/Fresh/Shah/Premier/Bashundhara/
Equivalents.

Reinforcement

Extreme SOOW/60/40 grade deformed bars
as per structural design. BSRM/Rahim/AKS/
Equivalents.

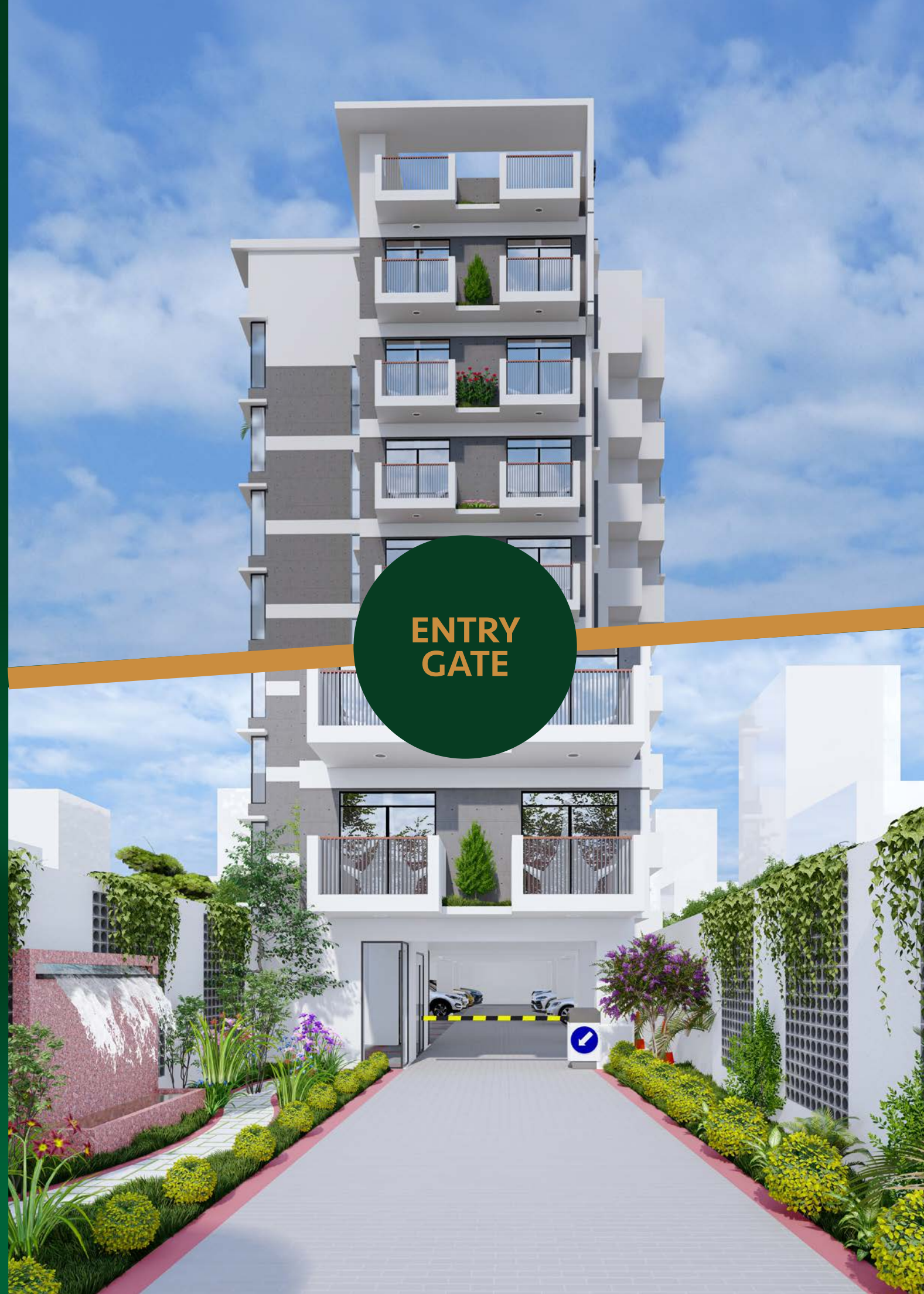
Brick

1st class/Auto bricks will be used for all
internal and external walls as per architectural
design and drawings.

General Criteria

Architectural, structural, electrical, sanitary
and plumbing design is based on survey
reports and prepared by recognized firm
RAJUK.

All R.C.C work will be carried out with picked/
single/3/4" downgraded stone chips. R.C.C
frame structure is designed as per BNBC and
ACI code, considering earthquake load at
7.5 Richter scale. Heavy reinforced concrete
foundation on the basis of soil test report.
Foundation and superstructure design and
construction supervision shall be done by
a group of structural engineers with a wide
range of professional experience to ensure
the highest quality of workmanship. All kinds
of construction materials are tested by BUET/
standard recognized testing labs.



ENTRY
GATE

FEATURES & AMENITIES OF THE APARTMENT

Wall

1st class/Auto brick exterior and interior walls
will be 5 inches. All walls will be plastered after
architectural and structural layout checking by
New Vision Group engineers. Walls will have a
standard finish.

Doors

Main entrance door will be solid and decorative,
made of Chittagong Segun or equivalent wood.
Heavy-duty imported locks from recognized
brands, with door chain and viewer.

Internal Door

All internal doors will be durable and strong
PARTEX flush doors or equivalents. Bathroom
doors will be PVC waterproof doors. All internal
doors will have good quality locks.

Windows

Sliding aluminium windows as per architectural
design. 5mm thick glass with mohair lining.
Rainwater barrier inside 3-inch aluminium
sections. Safety grills in all windows.

Floor & verandah

Well-decorative 16"x16" homogeneous floor tiles
from RAK or Akij or equivalents.

Painting & polishing

Smooth finished plastic paint (Berger or
equivalent) on all walls and ceilings in soft colors.
French polished door frames and shutters.
Exterior walls will be weather coat painted (Berger
or equivalent).

Electrical

All electrical wiring and phone lines will be
concealed. Imported MK type or equivalent
standard electrical switches, plug points, fan
dimmers, and other fittings. All power outlets with
earth connection. Provision for air conditioning in
one bedroom and drawing room.

Bathrooms

Good quality RAK or equivalent sanitary wares in all bathrooms. Good looking and well-quality RAK or equivalent tiles in all bathrooms. Other bathroom fittings like bib cock, angle stop cock, moving shower, concealed stop cock, etc. will be standard brands available in the country. All accessories will be standard quality. Master bathrooms will have high commode with lowdown (RAK standard or equivalent). Other toilets will have pan with lowdown from RAK or equivalent.

Kitchen

Impressively designed platform with RAK or equivalent tiles. Provision for double burner. Wall tiles with well-decorative design (RAK or equivalent) up to cabinet or 7 feet in all surrounding walls of the kitchen. Matching homogeneous floor tiles (RAK or equivalent). One stainless steel single bowl sink with moving sink cock. Provision for exhaust fan.

Utility Lines

Electricity and gas (LPG) supply will be individual apartment-wise. Water supply will have a common meter for the project.

Community Hall Room

Community hall/room with attached toilet and sanitaryware (RAK or equivalent). Floor shall be finished with decorative tiles (RAK or equivalent).

SALIENT FEATURES:

Building Entrance

A strong and well-designed main gate with a pocket gate for general movement. A well-decorative guard post. Main gate to driveway will be well-casted and finished with decorative pavement tiles. Logos will be well-textured/fair-faced and decorative.

Reception Lobby

Main lobby and reception area will be finished with 24"x24" mirror polished foreign tiles. False ceiling will be well-decorative with effective mirror lighting. Well-designed visitor waiting area and driver seating area. 4-port full CCTV security system will cover the full ground floor and other important areas of the building.



FEATURES & AMENITIES OF THE APARTMENT



Lift

High quality imported eight persons lift with voltage stabilizer. Well supported with modern technology. Well furnished full stainless steel hairline/mirror finish. 480kgs to 530kgs lifting capacity (8 persons). Adequate lighting. Fast and reliable service to residents on all floors. Modern calling system with auto landing for safety.

Lift Lobbies & Staircases

Spacious lift and stair lobby on each floor. Lift front walls will be tiled. All stairs will be finished with homogeneous tiles (RAK or equivalent). Handrails made of SS pipe with specially designed MS railing. Decorative identification plates of floors will be provided.

Apartment Layouts

The design will maximize advantages, especially in relation to daylight and outside views. About 90% natural lighting will be ensured inside the flats. Cross ventilation and privacy will be emphasized in design.

Generator

European standard imported generator with canopy. Capacity to cover lift, pump, intercom services, staircase, lobby area, car parking, reception, security room, main gate, garden, etc. Generator power will also cover each flat for 1 light and 2 fans.

Water Pumps

2 units of water pumps will supply proper and uninterrupted water. Pumps should be imported from the European Union like Pedrollo or equivalents. One pump for water suction from main line and another for lifting water from reserve tank.

Roof Top

Protective parapet wall with standard height. Rooftop garden with good-looking plantation. Open corner with garden seats, community hall, children play provision, walking track, etc.

Driver Room

A dedicated driver waiting space will be allocated within the parking area, designed to provide a practical and comfortable spot for drivers.

Intercom System

Imported from recognized companies like Panasonic or equivalents. Intercom connection will be between apartments, reception & guard room.

General Amenities

Electricity supply approximately 220V/440V from DESCO/DPDC source with separate main cable and LT panel/Distribution board. Water supply connection from WASA as per total calculated consumption. Underground water reservoir with one lifting pump and a suction pump. Sewerage system planned for long-term requirements. Gas pipeline connection from TITAS distribution system as per total calculated consumption, with adequate safety measures incorporated as per GOVT. decision.

Client Service

Preparation of By-Laws and committee formation of the apartment owners' association. 1 (one) year of service for repairing works.

Note: All items mentioned in the above specifications are based on Monorom Holdings Ltd. standards. In case of the non-availability of the materials mentioned in the specification, equivalent materials—*in terms of quality and market availability*—will be used.

Monorom Holdings Ltd. reserves the sole discretion to determine the standard of fittings and fixtures. Any requirement or choice beyond the Monorom Holdings Ltd. standard items will be considered an Optional Requirement of the buyer.

apon NIBAS

AN Exclusive APARTMENT



EXCELLENCE IN EVERY ASPECT



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